



Plot 2, Dobbs Lane, Ipswich, Suffolk
£700,000



- FOUR BEDROOM NEW BUILD
- SEPARATE LIVING ROOM
- CONTEMPORARY KITCHEN AND BATHROOMS
- POPULAR DOBBS LANE
- FAMILY ROOM
- UTILITY ROOM
- DOWNSTAIRS STUDY/BEDROOM
- EN-SUITE TO MASTER BEDROOM
- EN-SUITE TO DOWNSTAIRS BEDROOM
- PORCELAIN TILES WITH UNDERFLOOR HEATING

We are delighted to offer for sale this detached, four bedroom NEW BUILD CHALET BUNGALOW situated in the highly desirable KESGRAVE area, Ipswich.

The stunning property falls within Gorseland Primary and Kesgrave High school catchments.

Finished to a high specification throughout, the property benefits from a lounge, separate family room, utility room and guest room/study with its own en-suite downstairs. The appealing open plan kitchen/diner is to the rear of the property, the units are a modern contemporary matte blue design and are finished with push button cupboards and drawers. The kitchen features a breakfast island with inset electric hob, a built in American style fridge/freezer, inset oven, microwave and warmer tray.

Under unit lighting and spot lighting add to the kitchen's luxurious feel, whilst the bi-folding doors which lead out to the generous sized rear garden give the kitchen an open and airy feel, ideal for socialising.

All downstairs accommodation feature porcelain floor tiles together with under floor heating.

Upstairs the accommodation provides master bedroom with en-suite overlooking the rear aspect, bedroom two and three which overlook the front aspect and a family bathroom. All sanitary fixtures and fittings are designed to a high specification.



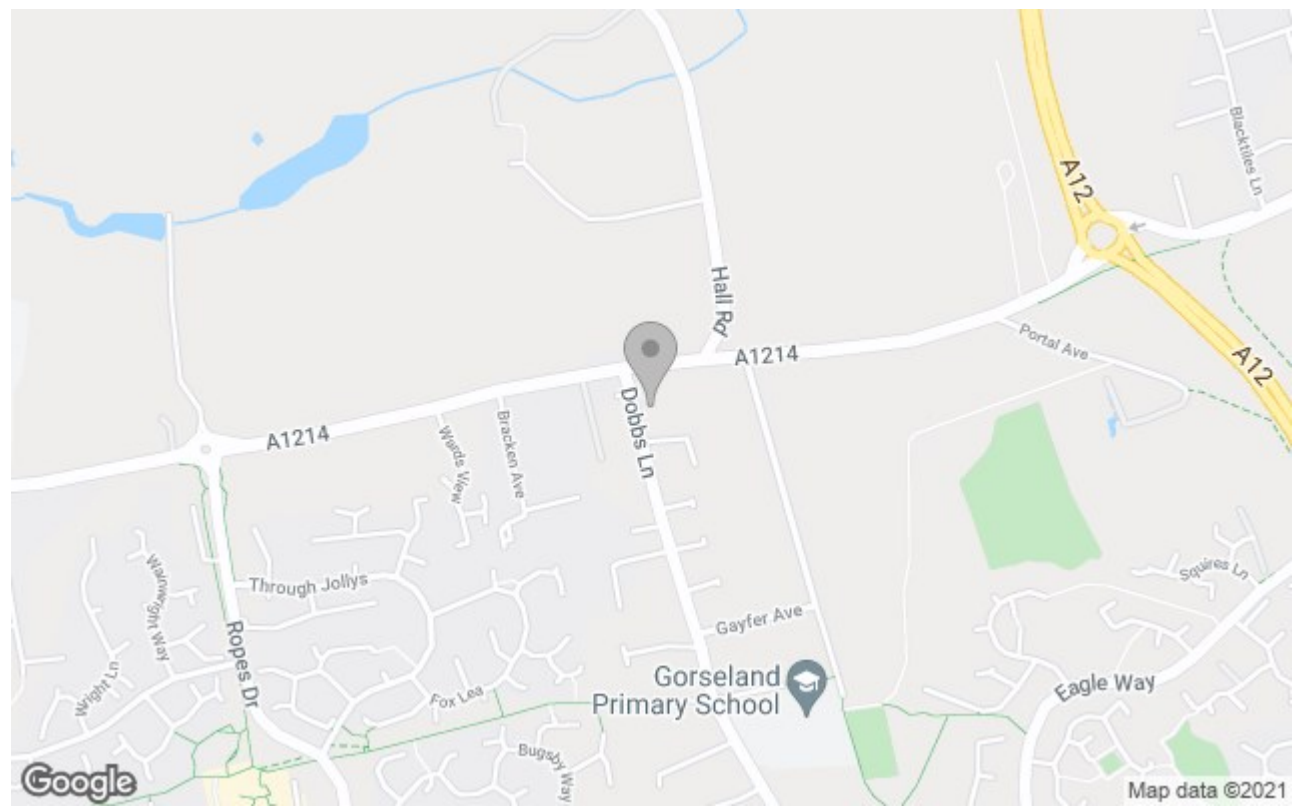
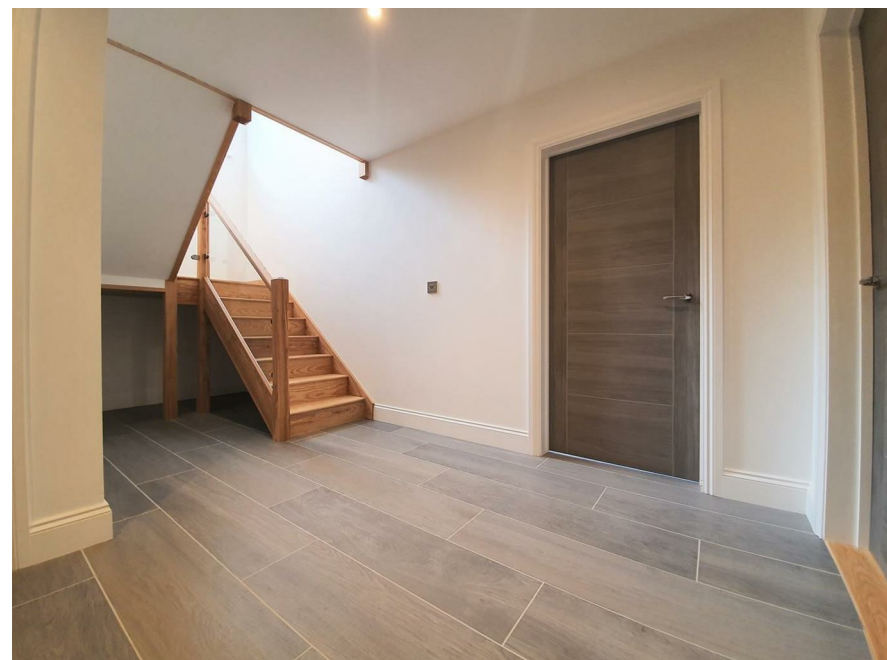


Outside, the property is approached by a large driveway providing plenty of carparking for several cars as well as a garage attached to the side of the property,

The rear garden boasts contemporary porcelain patio slabs and the remainder is laid to lawn.

There is ample local shopping facilities nearby with easy access to Martlesham Heath where outlets include Tesco Extra, Costa, Wickes, M&S Simply Food, Next, Boots, Hughes, Greggs and plenty more.





Viewing

Please contact our Grace Estate Agents Office on 01473 747728 if you wish to arrange a viewing appointment for this property or require further information.

These particulars, whilst believed to be accurate are set out as a general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements of representation of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firm's employment has the authority to make or give any representation or warranty in respect of the property.

Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs	(92 plus) A		
	(81-91) B		
	(69-80) C		
	(55-68) D		
	(39-54) E		
	(21-38) F		
	(1-20) G		
Not energy efficient - higher running costs			
England & Wales		EU Directive 2002/91/EC	

Environmental Impact (CO ₂) Rating		Current	Potential
Very environmentally friendly - lower CO ₂ emissions	(92 plus) A		
	(81-91) B		
	(69-80) C		
	(55-68) D		
	(39-54) E		
	(21-38) F		
	(1-20) G		
Not environmentally friendly - higher CO ₂ emissions			
England & Wales		EU Directive 2002/91/EC	